



Date Received 1/27/2020  
Staff's Initials PS

**ANNEXATION/REZONING APPLICATION**

A MINIMUM OF ONE CONSULTATION WITH PLANNING AND ZONING ADMINISTRATOR AND STAFF PRIOR TO THE SUBMISSION OF THE REQUESTED APPLICATION IS MANDATORY.

ANNEXATION PROPERTY ADDRESS 3461 Cherokee St NW Kennesaw GA 30144

Parcel ID 20009901230 Lot Size .397 Acres

Resident Population \_\_\_\_\_ Housing Units 1 Other Buildings \_\_\_\_\_

Zoning Request from:

Present Zoning R-15 To NRC

For the purpose of retail use / office use

APPLICANT Xiue Sun

APPLICANT EMAIL sunxiue1966@gmail.com

Applicant address 3945 Abernathy Farm Way Acworth GA 30101

(Phone #) 470-469-8284

Applicant Signature Xiue Sun

Signed, sealed and delivered in presence of: \_\_\_\_\_  
Notary \_\_\_\_\_ Date \_\_\_\_\_

REPRESENTATIVE /

(Phone #) \_\_\_\_\_ Representative Email \_\_\_\_\_

Representative Signature \_\_\_\_\_

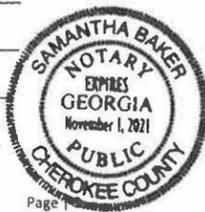
Signed, sealed and delivered in presence of: \_\_\_\_\_  
Notary \_\_\_\_\_ Date \_\_\_\_\_

TITLEHOLDER Xiue Sun (Phone#) 470-469-8284

Titleholder Address 3945 Abernathy Farm Way Acworth GA 30101

Signature: Xiue Sun Email \_\_\_\_\_

Signed, sealed and delivered in presence of: Samantha Baker  
Notary \_\_\_\_\_ Date \_\_\_\_\_







LAND CASES	LAND USE OR ZONING		3461 Cherokee St Land Lot 99, Tax Parcel 123 Subject Properties	 Scale: 1" = 100' Print Date: 9/16/2020 RZ2020_06_Aerial_ap
	FROM	TO		
AV	LU		 Subject Properties	 CITY OF KENNESAW PLANNING & ZONING DEPT. 770-590-8268
AX	<b>RZ2020-05</b>	<b>R-15</b>		
DX	AV - Administrative Variance AX - Annexation DX - De-annexation			
HBR	HBR - Historic Board Review			
SLUP	LU - Land Use RZ - Re-zoning SLUP - Special Land Use			
ZV	ZV - Variance			



**Community Development**  
 Planning & Zoning Department  
 2529 J.O. Stephenson Ave., Kennesaw, GA 30144

Date Received 8-24-20  
 Staff Initials DS

**VARIANCE**  
 Required Fee \$375.00

Is this property located within the Kennesaw Historic District (yes) \_\_\_\_\_ (no)

A MINIMUM OF ONE CONSULTATION WITH PLANNING AND ZONING ADMINISTRATOR AND STAFF PRIOR TO THE SUBMISSION OF THE REQUESTED APPLICATION IS MANDATORY.

(Applicant or agent must be present at all public hearings)

**PURPOSE OF VARIANCE REQUEST** To eliminate the 75' impervious setback/buffer and reduce the 50 ft undisturbed buffer along the stream that encroaches onto the southeast corner of the property. The only buffer to remain would be the 25' state undisturbed buffer.

**VARIANCE PROPERTY ADDRESS**

Land Lot 99 Tax Parcel 0600, 4270, 0790 Lot Size +/- 38.09 ac Present Zoning T-40

**APPLICANT** Tellus Partners, LLC

**APPLICANT EMAIL** g.mumillon@tellus-partners.com

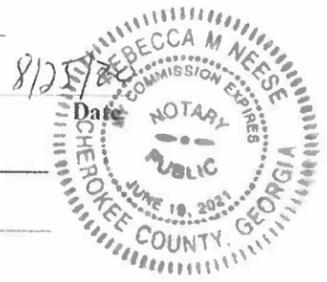
Applicant address 6753 Jones Mill Court Ste. A Norcross, GA 30092

(Home#) 404-798-5974 (Fax#) 404-393-5439 (Work#) 404-798-5974

(Cell#) 404-798-5974

Applicant Signature [Signature]

Signed, sealed and delivered in presence of: [Signature]  
 Notary



**REPRESENTATIVE** \_\_\_\_\_

(Fax #) \_\_\_\_\_ (Work#) \_\_\_\_\_ (Cell#) \_\_\_\_\_

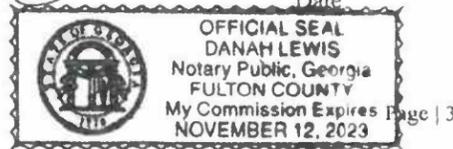
Representative Signature \_\_\_\_\_

Signed, sealed and delivered in presence of: \_\_\_\_\_  
 Notary

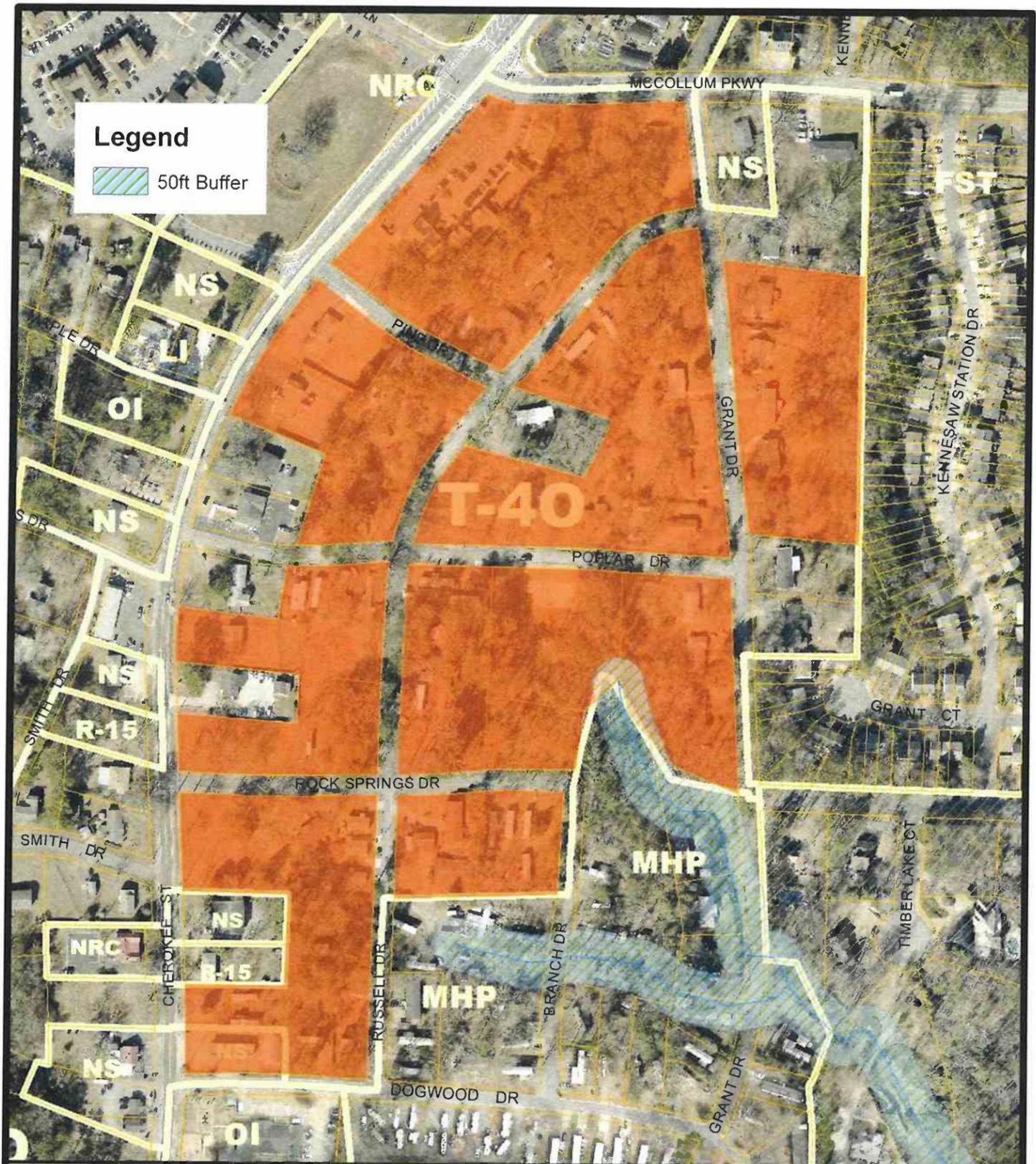
**TITLEHOLDER:** VCP Kennesaw, LLC Telephone: 917-685-0083

Signature: [Signature] Address: 1110 Powers Ferry Rd, Ste 150, Atlanta, GA 30309

Signed, sealed and delivered in presence of: [Signature] 8/26/2020  
 Notary Date







**Legend**

 50ft Buffer

LAND CASES	LAND USE OR ZONING		FROM	TO
	FROM	TO		
AV	LU			
AX	RZ			
DX	AV - Administrative Variance			
HBR	AX - Annexation			
SLUP	DX - De-annexation			
	HBR - Historic Board Review			
	LU - Land Use			
	RZ - Re-zoning			
	SLUP - Special Land Use			
	ZV - Variance			
<b>ZV 2020-004</b>				

 ZONING	 KENNESAW CITY LIMITS  COBB COUNTY  LAND LOT
 Subject Properties	
	

 <b>CITY OF KENNESAW</b> PLANNING & ZONING DEPT. 770-590-8268	Scale: 1" = 250' Print Date: 9/21/2020 ZV2020_04_Aerial_ap
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**REZONING APPLICATION**  
Required Fee \$375.00

Date Received 8-20-20  
Staff's Initials PS

Is this property located within the Kennesaw Historic District (yes) \_\_\_\_\_ (no) X \_\_\_\_\_

A MINIMUM OF ONE CONSULTATION WITH PLANNING AND ZONING ADMINISTRATOR AND STAFF PRIOR TO THE SUBMISSION OF THE REQUESTED APPLICATION IS MANDATORY.

**REZONING PROPERTY ADDRESS** 1320 Lockhart Drive NW, Kennesaw, GA 30144

Land Lot 131 Tax Parcel 20013100340 Lot Size 7.044 acres

Resident Population 424 Housing Units 114 Other Buildings \_\_\_\_\_

Zoning Request from:

Present Zoning Ol & LI University Living- PBSH  
To: (Purpose Built Student Housing)

For the purpose of: Construction of Student Housing

**APPLICANT** York Acquisitions, LLC

**APPLICANT EMAIL** Dblier@ahpliving.com

Applicant address 8008 Corporate Center Drive, Suite 201, Charlotte, NC 28226

(Home#) \_\_\_\_\_ (Fax#) \_\_\_\_\_ (Work#) 704-274-2221

(Cell#) 847-525-2800

Applicant Signature \_\_\_\_\_ Date \_\_\_\_\_

Signed, sealed and delivered in presence of: \_\_\_\_\_  
Notary \_\_\_\_\_ Date \_\_\_\_\_

**REPRESENTATIVE** Jared McKinnon, P.E.

(Fax #) \_\_\_\_\_ (Work#) 470-299-7046 (Cell#) 404-934-6790

Representative Signature \_\_\_\_\_ Date \_\_\_\_\_

Signed, sealed and delivered in presence of: \_\_\_\_\_  
Notary \_\_\_\_\_ Date \_\_\_\_\_

**TITLEHOLDER:** J M Paz Kennesaw LLC Telephone: 856 384 2999

Signature: [Signature] Member  
Address: 1225 W Broad Suite 2 West Deptford NJ 08096

Signed, sealed and delivered in presence of: \_\_\_\_\_  
Notary [Signature] Date 8/20/2020





Community Development Department  
 2529 J. O. Stephenson Avenue  
 Kennesaw, GA 30144  
 770-590-8268

**CAMPAIGN CONTRIBUTIONS**

The undersigned Applicant herein certifies that they **have**  **have not**  made campaign contributions or gifts within two (2) years immediately preceding the filing of this application, campaign contributions aggregating two hundred fifty dollars (\$250.00) or more or made gifts to a member or members of the Mayor and Council or Planning Commission who will consider the application.

**FINANCIAL INTEREST**

The undersigned Petitioner herein certifies that, to the best of its knowledge, information, and belief, the Mayor, any member of the Planning Commission **does**  **does not** :

- 1) Have a property interest (direct or indirect ownership, including any percentage of ownership less than total) in the subject property;
- 2) Have a financial interest (direct ownership interest of the total assets or capital stock where such ownership interest is ten percent (10%) or more) of a corporation, partnership, limited partnership, firm, enterprise, franchise, association, or trust, which has a property interest (direct or indirect ownership, including any percentage of ownership less than total) upon the subject property; and
- 3) Have a spouse, mother, father, brother, sister, son or daughter who has any interest as described above.

The undersigned Petitioner:

CERTIFY THAT THE FOREGOING INFORMATION IS TRUE AND CORRECT,  
 THIS 20 DAY OF July, 2020

APPLICANT'S SIGNATURE

Applicant means any person who makes application and any attorney, other person representing or acting on behalf of a person who makes application to the Mayor and Council and Planning Commission.

Deanna O'Brien 8/20/2020  
 Notary Date

Commission expires: 2/20/23

Deanna O'Brien  
 Notary Public  
 Cabarrus County  
 North Carolina  
 My Commission Expires 2/20/23





LAND CASES	LAND USE OR ZONING		FROM	TO
	FROM	TO		
AV	LU			
AX	<b>RZ2020-03</b>	<b>OI, LI</b>		<b>PBSH</b>
DX	AV - Administrative Variance AX - Annexation DX - De-annexation			
HBR	HBR - Historic Board Review			
SLUP	LU - Land Use RZ - Re-zoning SLUP - Special Land Use			
<b>ZV2020-01</b>	ZV - Variance			

	ZONING
	KENNESAW CITY LIMITS
	COBB COUNTY
	LAND LOT

<b>1320 Lockhart Dr</b>	
Land Lot 131, Tax Parcel 34	
Subject Properties	

<b>CITY OF KENNESAW</b> PLANNING & ZONING DEPT. 770-590-8268	<i>David K. ...</i> Mayor	<i>Lee ...</i> City Clerk	Scale: 1" = 200' Print Date: 9/15/2020 RZ2020_03_Aerial_ap

8/20/2020

To: Darryl Simmons, and the Planning & Zoning Committee Administrators

From: Timothy B. Farmer

Re.: Request for 50' stream buffer to be waived.

I Timothy B. Farmer on this 20<sup>th</sup> Day of August, 2020

Do hereby wish for the City of Kennesaw under hardship circumstances.

To waive the fifty foot stream buffer, allowing for my future home build.

Please note, a previous request was made on the 17<sup>th</sup> Day of February, 2009

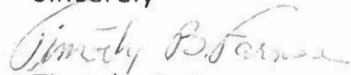
Per: The Plan Review Committee Comment Sheet.

Respectfully, all comment requirements of me, have been met.

It's always a pleasure working with each of you, and I appreciate the extra care and understanding consideration, you have shown me throughout the years.

Thank You!

Sincerely

  
Timothy B. Farmer



**Community Development**  
**Planning & Zoning Department**  
2529 J.O. Stephenson Ave., Kennesaw, GA 30144

Date Received \_\_\_\_\_  
Staff Initials \_\_\_\_\_

**VARIANCE**  
Required Fee \$375.00

Is this property located within the Kennesaw Historic District (yes) \_\_\_\_\_ (no)

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(Applicant or agent must be present at all public hearings)

**PURPOSE OF VARIANCE REQUEST** Waive 50' Stream Buffer for Personal Home Build

**VARIANCE PROPERTY ADDRESS** Lot 2 of 1+2 2810 Mack Dobbs Rd.

Land Lot 141 Tax Parcel 20014101810 Lot Size 26,347 Present Zoning R-20

**APPLICANT** TIMOTHY B. FARMER

**APPLICANT EMAIL** timothy-farmer@att.net

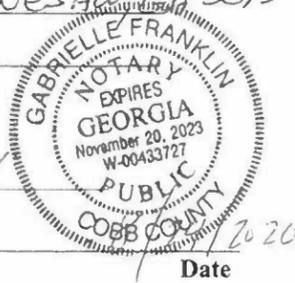
Applicant address 2810 Mack Dobbs Rd Kennesaw GA 30152

(Home#) \_\_\_\_\_ (Fax#) \_\_\_\_\_ (Work#) \_\_\_\_\_

(Cell#) 727-643-9600

Applicant Signature Timothy B. Farmer

Signed, sealed and delivered in presence of: Gabrielle Franklin  
Notary



Date

**REPRESENTATIVE** \_\_\_\_\_

(Fax #) \_\_\_\_\_ (Work#) \_\_\_\_\_ (Cell#) \_\_\_\_\_

Representative Signature \_\_\_\_\_

Signed, sealed and delivered in presence of: \_\_\_\_\_  
Notary

**TITLEHOLDER:** \_\_\_\_\_ Telephone: \_\_\_\_\_

Signature: \_\_\_\_\_ Address: \_\_\_\_\_

Signed, sealed and delivered in presence of: \_\_\_\_\_  
Notary Date



**CAMPAIGN CONTRIBUTIONS**

The Owner and Petitioner herein certify that they have  have not  made campaign contributions or gifts within two (2) years immediately preceding the filing of this application, campaign contributions aggregating two hundred fifty dollars (\$250.00) or more or made gifts to a member or members of the Mayor and Council or Planning Commission who will consider the application.

**FINANCIAL INTEREST**

The undersigned Petitioner herein certifies that, to the best of their knowledge, information, and belief, the Mayor, any member of the Planning Commission **does**  **does not** :

- 1) Have a property interest (direct or indirect ownership, including any percentage of ownership less than total) in the subject property;
- 2) Have a financial interest (direct ownership interest of the total assets or capital stock where such ownership interest is ten percent (10%) or more) of a corporation, partnership, limited partnership, firm, enterprise, franchise, association, or trust, which has a property interest (direct or indirect ownership, including any percentage of ownership less than total) upon the subject property; and
- 3) Have a spouse, mother, father, brother, sister, son or daughter who has any interest as described above.

The undersigned Petitioner: Owner / Timothy B. Farmer

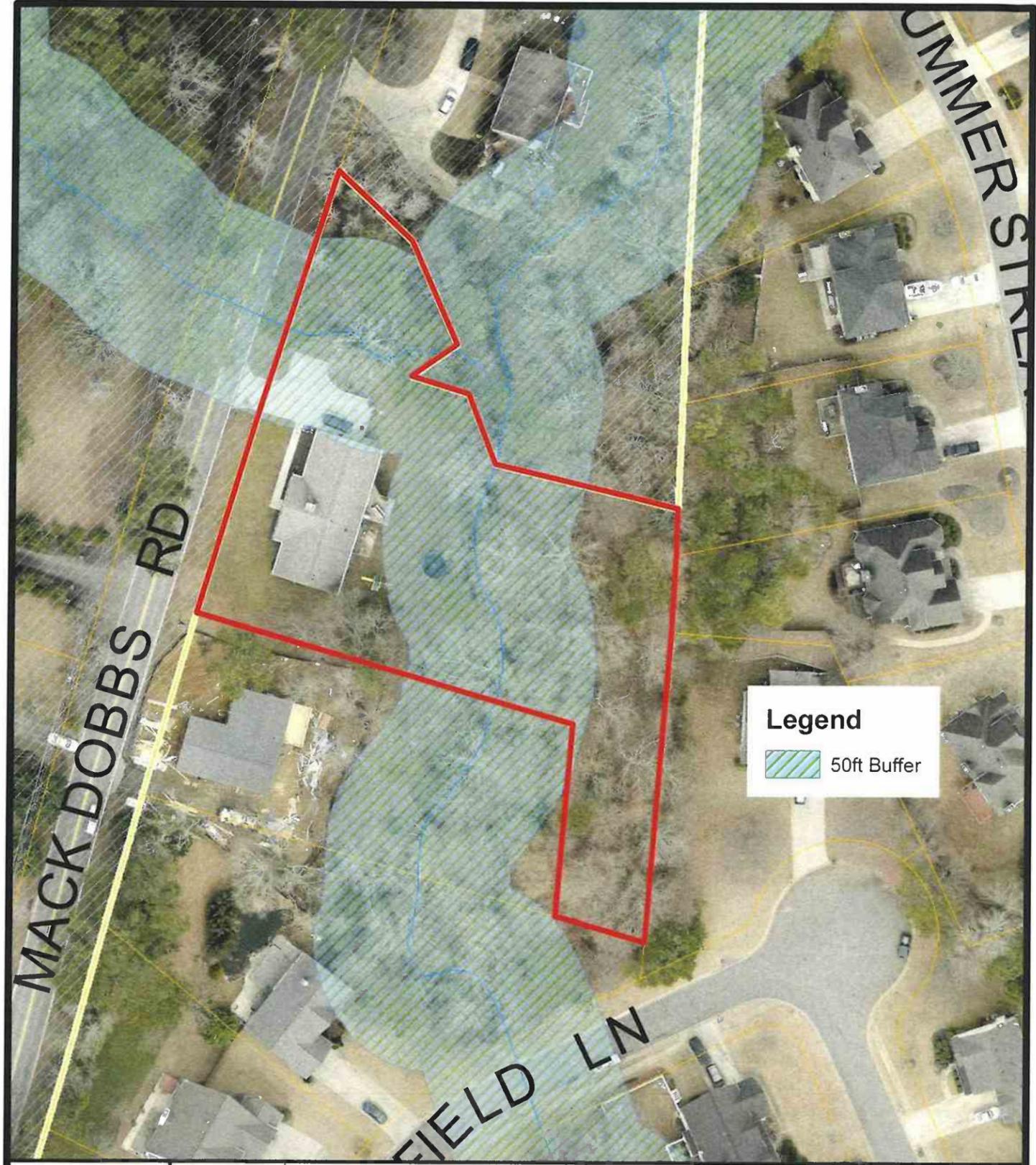
Applicant/Petitioner means any person who makes application and any attorney, other person representing or acting on behalf of a person who makes application to the Mayor and Council and Planning Commission.

**Owner/Applicant Certification**

- The Owner/Petitioner certifies that all information in this application, and all information furnished in support of this application, is true and complete to the best of the Petitioner's knowledge and belief. Should any portion not be true then the application may be rejected.
- Penalty for false or fraudulent statement: Whoever, in any matter, knowingly and willingly falsifies or makes any false, fictitious or fraudulent statement of representatives concerning this application shall be denied the request stated in this application.
- The Owner/Petitioner hereby grants permission to enter on the property for inspection during the time application is pending.

Timothy B. Farmer  
Applicants Signature

Signed, sealed and delivered in presence of:



**Legend**  
 50ft Buffer

LAND CASES	LAND USE OR ZONING	
	FROM	TO
AV	LU	
AX	RZ	
DX	AV - Administrative Variance AX - Annexation DX - De-annexation	
HBR	HBR - Historic Board Review	
SLUP	LU - Land Use RZ - Re-zoning SLUP - Special Land Use ZV - Variance	

 ZONING
 KENNESAW CITY LIMITS
 COBB COUNTY
 LAND LOT

**2810 Mack Dobbs Rd**  
**Land Lot 141, Tax Parcel 181**  
 Subject Properties



 **CITY OF KENNESAW**  
 PLANNING & ZONING DEPT.  
 770-590-9268

*David Escobedo*  
 Mayor

*Lee Halperin*  
 City Clerk

Scale: 1" = 70'  
 Print Date: 9/16/2020  
 ZV2020\_03\_Aerial\_ap

