



CERTIFICATE OF APPROPRIATENESS APPLICATION

Application Fee: \$50.00 Demolition Fee: \$150.00

All new construction and exterior remodeling of buildings within the Kennesaw Historic District shall be subject to the architectural review and approval of the Historic Preservation Commission (HPC). HPC approval is also required for Kennesaw Downtown Development Authority (KDDA) Façade and Signage Grants.

Darryl Simmons, Planning and Zoning Administrator for the City of Kennesaw will meet with you to direct your application process. To make an appointment, please call 770-590-8268.

A Certificate of Appropriateness (COA) shall be obtained from the HPC prior to the issuance of a building permit. The HPC shall consider a variety of issues in rendering its decision including, but not limited to the following:

- a. The surrounding development
- b. The best interest of the community
- c. Previous studies undertaken by the City as well as the standards contained herein.

Application for signage to include

- Material Specifications
- Drawing of Sign with Dimensions and Colors to be used
- Façade detail of fonts

Application for landscaping to include

- Variety of trees and shrubs
- Indicate size and location of plantings

Application for exterior renovations and additions to include

- Existing conditions site plan depicting location of addition in relation to the existing property
 - Existing floor plan of building
 - Proposed floor plan of building including portions not to be altered
 - Elevations of all exterior façade of addition including relationship to existing building
 - Detail of trim to be utilized on façade
 - Manufacturer's specifications for windows, doors and lighting that will be installed-including a photograph or sketch
 - Photographs of all existing facades; existing structures adjacent to property; and views from the façade to be altered
-



CONSISTENT WITH THE UNITED STATES CONSTITUTION AND THE RELIGIOUS LAND USE AND INSTITUTIONALIZED PERSONS ACT OF 2000, THE CITY OF KENNESAW DOES NOT DISCRIMINATE ON THE BASIS OF RELIGION IN THE APPLICATION OF ITS LAWS, POLICIES, OR PROCEDURES, INCLUDING THE APPLICATION OF ITS LAND USE REGULATIONS AND ZONING LAWS.

Under the Religious Land Use and Institutionalized Persons Act of 2000 (“RLUIPA”), no government, including the City of Kennesaw, may apply its zoning or land use laws in a manner that imposes a substantial burden on the religious exercise of a person, including a religious assembly or institution. RLUIPA also provides that no government, including the City of Kennesaw, may apply a land use regulation in a manner that treats a religious assembly or institution (a church, for example) on less than equal terms than a nonreligious institution or assembly (a day care center or movie theater, for example). Finally, RLUIPA provides that no government, including the City of Kennesaw, may impose or implement a land use regulation in a manner that discriminates against a religious assembly or institution.

If you believe that the City of Kennesaw, or any other local government or municipality, has discriminated against you in the implementation of its zoning or land use laws, please contact the United States Department of Justice.

**United States Department of Justice
Civil Rights Division
Housing and Civil Enforcement Section
950 Pennsylvania Ave. N.W. –G St.
Washington, DC 20530**

1. NAME OF APPLICANT: Orlando Orachena
 Owner
 Other
 Other, please specify _____

APPLICANT MAILING ADDRESS: 2981 N Main St NW
Kennesaw GA 30144

(Home#) _____ (Cell#) (678) 773-3901 (Email) ORLANDO.A03@yahoo.com

PROPERTY ADDRESS: 2981 N Main St. NW Kennesaw GA 30144

Land Lot _____ Tax Parcel 20013900180 Lot Size 4 Acre

Current zoning on property: _____

2. NAME OF ATTORNEY OR REPRESENTATIVE:

(Home#) _____ (Cell#) _____ (Email) _____

NAME OF OWNER:

(Home#) _____ (Cell#) _____ (Email) _____

3. ACTIVITY

- | | |
|--|--|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Exterior Architectural Features |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Exterior Environmental Feature Change |
| <input type="checkbox"/> Awnings | <input type="checkbox"/> Moving a Building |
| <input type="checkbox"/> Fence | <input type="checkbox"/> Sign Erection |
| <input type="checkbox"/> Repairs or Alterations | <input type="checkbox"/> Sign Placement * |
| <input checked="" type="checkbox"/> Landscaping | |
- * (NOTE – Business License required before signage installation)**

Please describe your proposed work as simply and accurately as possible. Use the attached submittal criteria checklist to guide you in your description. Be sure to indicate materials to be used. Accurate drawings and photographs are required. (Use extra sheet, if necessary.) **Signed and sealed drawings from an architect, engineer or other design professional are required when construction of a new building, alterations and/or additions to existing structures are being made (Code 800.14.1).**

Our proposed work includes building a detached garage, two story. It will be in the right rear corner of the lot. The color will match our current house. We will be using Artisan HardiPlank siding. The garage will sit approximately 6 ft lower in elevation than our current house, due to natural grading of the ground. Attached are the garage plans as well as drawings of the elevation, proposed garage door styles, and other major features and details of the garage.

Important: This form must be completed before the Historic Preservation Commission will consider the approval of any material change to a property within a Historic District. This form, along with supporting documents must be filed with 1 Original (4) copies including color photos (excluding models, material and color samples, where one (1) is sufficient). The application and supporting documents are to be placed on a **CD in a PDF format.**

Incomplete applications will not be docketed for consideration by the Historic Preservation Commission.

The City of Kennesaw will not issue any permits until 7 days after the Commission's decision, per City Ordinance No. 2003-51, Section Two. 800.20 –Any person or persons jointly or severally aggrieved by any decision of the Kennesaw HPC may appeal to the Mayor and City Council. The appeal must be filed within 7 days of the decision of the Commission and must be made by written petition delivered to the zoning administrator. The appeal shall be on the application exactly as presented to the commission.


Signature of Applicant _____ Date 4/4/19

Signature of Owner _____ Date _____
(If different from applicant, consenting to work to be performed on said property.)



CERTIFICATE OF APPROPRIATENESS

APPROVAL SIGNATURES

Darryl Simmons (Application Deemed Complete)
Planning & Zoning Administrator

Date: _____

(Application Administratively Approved)
HPC Chair

Date: _____

- GRANTED
- DENIED Reason for denial _____
- REQUIRES HPC APPROVAL

Historic Preservation Commission consideration:

HEARING DATE: _____

ACTION BY COMMISSION:

- GRANTED
- DENIED

APPROVED WITH CONDITIONS:

DENIED: Reason for denial

(May re-submit within 60 days)

POSTPONED/TABLED _____

Signature, Historic Preservation Commission

Date

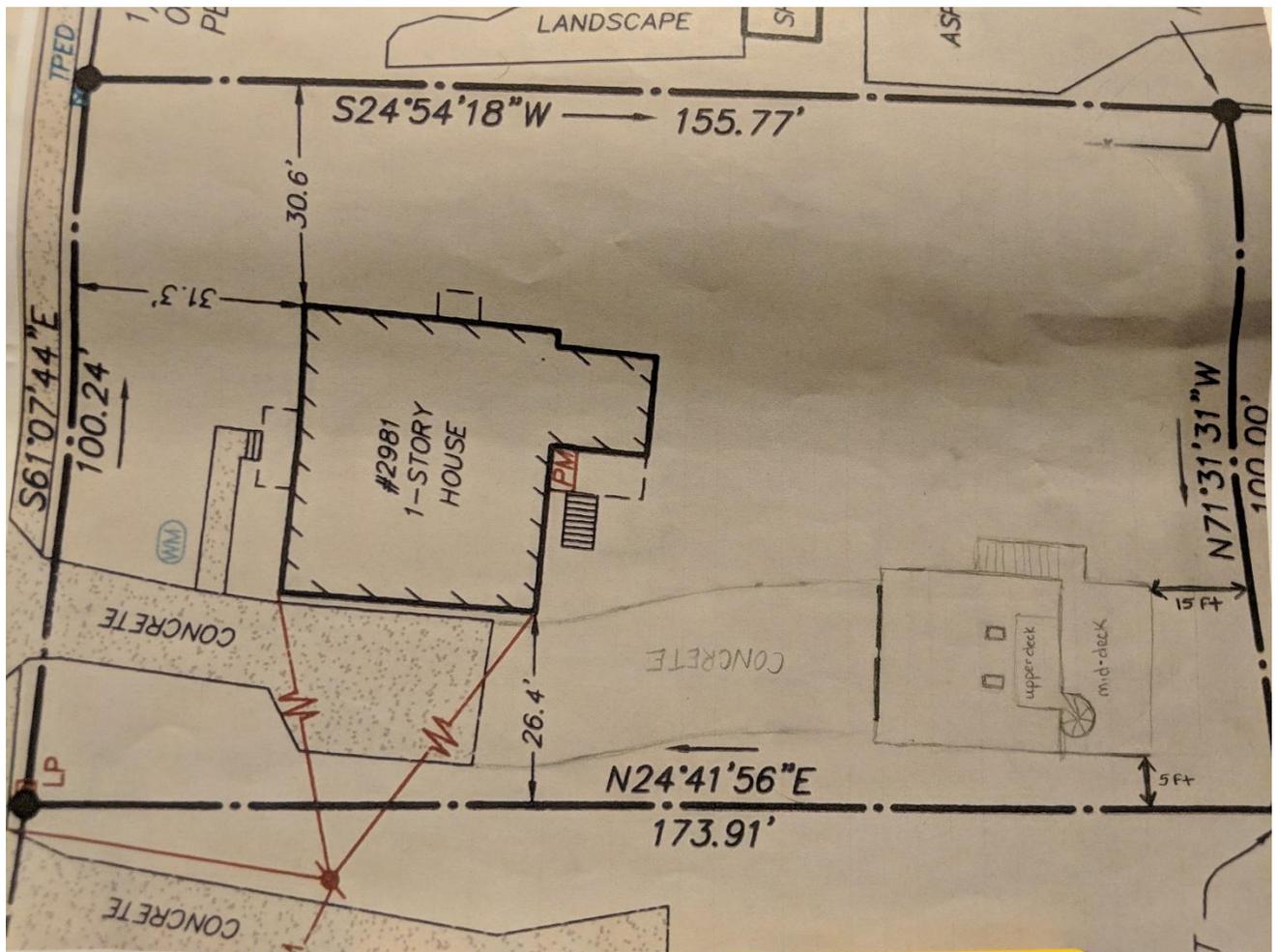
Upon Administrative Approval scan and send document to Commission for review



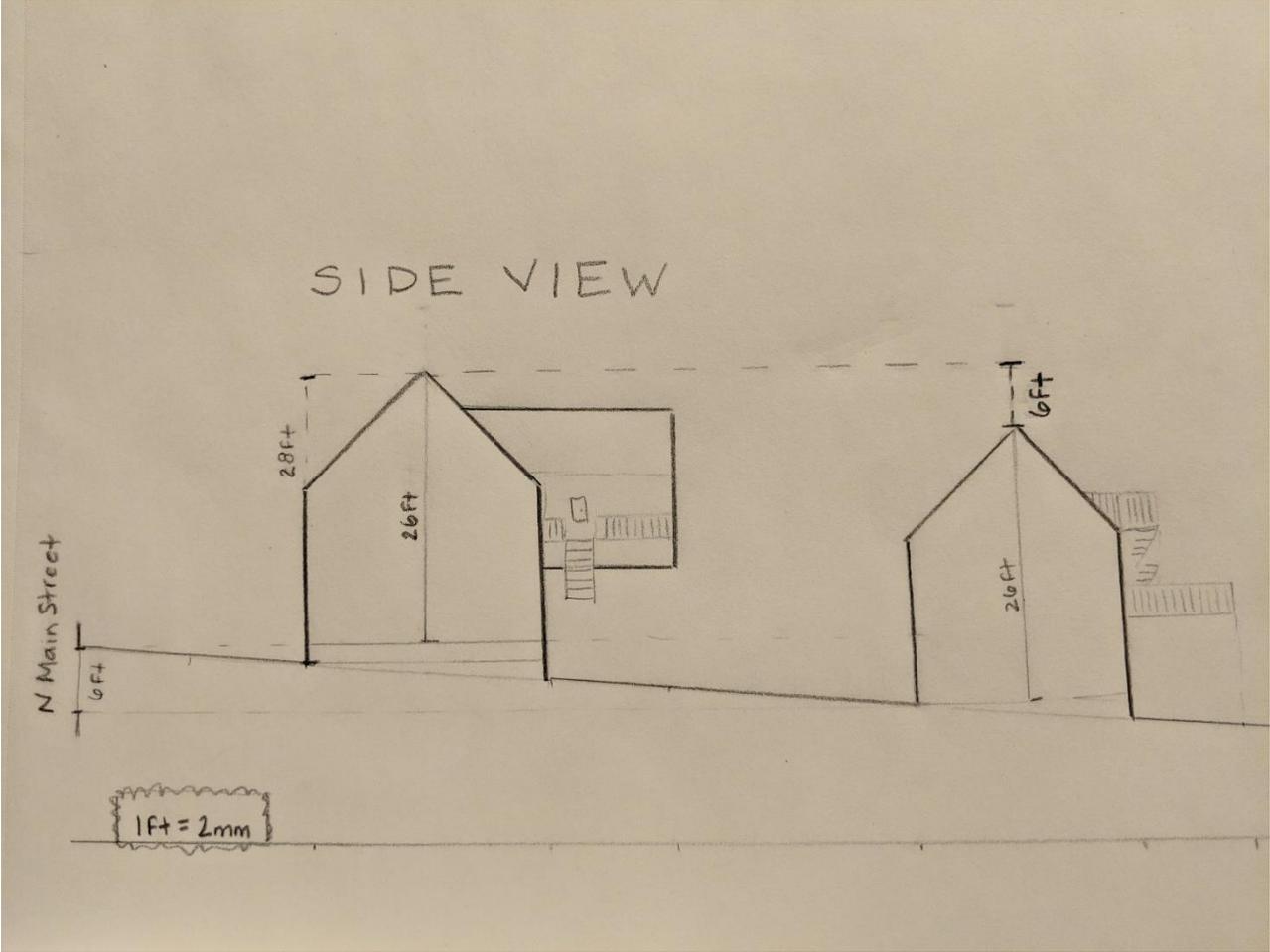
Renders of the new garage:



Drawing showing where it will be placed on the property



Our current house will sit approximately 6 feet higher than proposed garage as depicted below:



View from where garage will start, looking towards N Main Street, to show drop in elevation.



Small tree that will need to be cut down.



View from N Main Street:



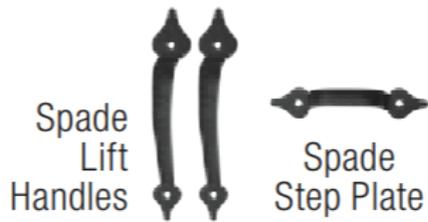
Examples of Garage door styles, with added decorative hardware:



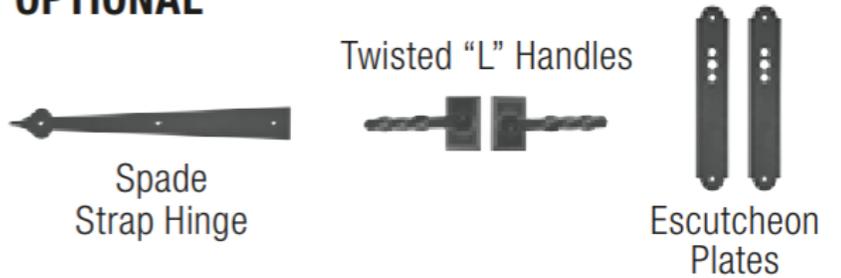


Decorative Hardware *Additional hardware options available; see pages 14–15.*

INCLUDED



OPTIONAL



Lights to be installed on front above garage doors will be similar to:



New windows on garage will match current windows on the house:



Railing style will be something similar to the below examples:



Additional railing example:



Additional railing example:



Additional notes:

5" x 5" Cornerboards and window and door casing

Artisan Hardiplank siding

Skirtboard at bottom

5-6" siding exposure

Roofing to best match current roof

Paint colors will match current home

We plan on putting a "friend board" that goes across the side and intersects the window on both sides of the garage, similar to the picture below but not pictured in the renders. Siding will remain the same (color and material) above and below the friend board.



FOUNDATION NOTES

FOUNDATION HAS BEEN DESIGNED BASED ON THE ASSUMED BEARING PRESSURE OF 1500 P.S.F. ALL FOOTINGS MUST BEAR ON NATURAL UNDISTURBED SOIL AND MUST EXTEND A MINIMUM OF 13 INCHES BELOW NATURAL GRADE.

THE SOIL BEARING CAPACITY SHALL BE VERIFIED BY THE OWNER'S OR CONTRACTOR'S SOIL ENGINEER.

ALL EARTH FILL SHALL BE GOOD SOIL CAPABLE OF BEING THOROUGHLY COMPACTED. BEFORE DEPOSITING FILL, THE SITE SHALL BE COMPLETELY CLEARED OF ALL VEGETATION, DEBRIS, TRASH, RUBBLE OR OTHER UNSOUND MATERIAL. FILL MATERIALS SHALL BE DEPOSITED ONLY IN THIN LAYERS OF 4 TO 6 INCHES AND COMPACTED AT OPTIMUM MOISTURE CONTENT. DAMP NOT WET SAND MAY BE USED.

SLABS ON GRADE SHALL BE MIN. 4 INCHES IN THICKNESS, REINFORCED WITH 6X6 10-10 WIRE MESH WITH ONE LAYER OF 6 MIL VISQUEEN. LAP MESH ONE MESH SPACE ON ALL SIDES.

REINFORCING BARS TO BE DEFORMED BARS, GRADE 60.

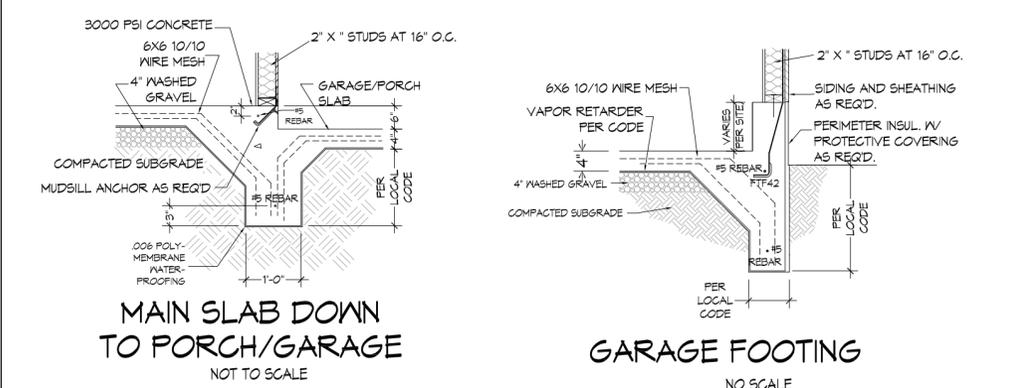
LAP ALL REINFORCING STEEL 24 BAR DIAMETERS OR A MINIMUM OF 18 INCHES UNLESS NOTED OTHERWISE.

ALL REINFORCEMENT AND REINFORCING ACCESSORIES ARE TO BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE LATEST A.C.I. DETAILING MANUAL.

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. IN 28 DAYS.

ALL CONCRETE, FORMS, REBAR AND WELDED WIRE FABRIC SHALL COMPLY WITH LOCAL CODES.

ALL STRUCTURAL INFORMATION IS SHOWN FOR REFERENCE ONLY. IT IS RECOMMENDED THAT A REGISTERED ENGINEER REVIEW ACTUAL SITE CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS ACCORDINGLY.



MAIN SLAB DOWN TO PORCH/GARAGE
NOT TO SCALE

GARAGE FOOTING
NO SCALE

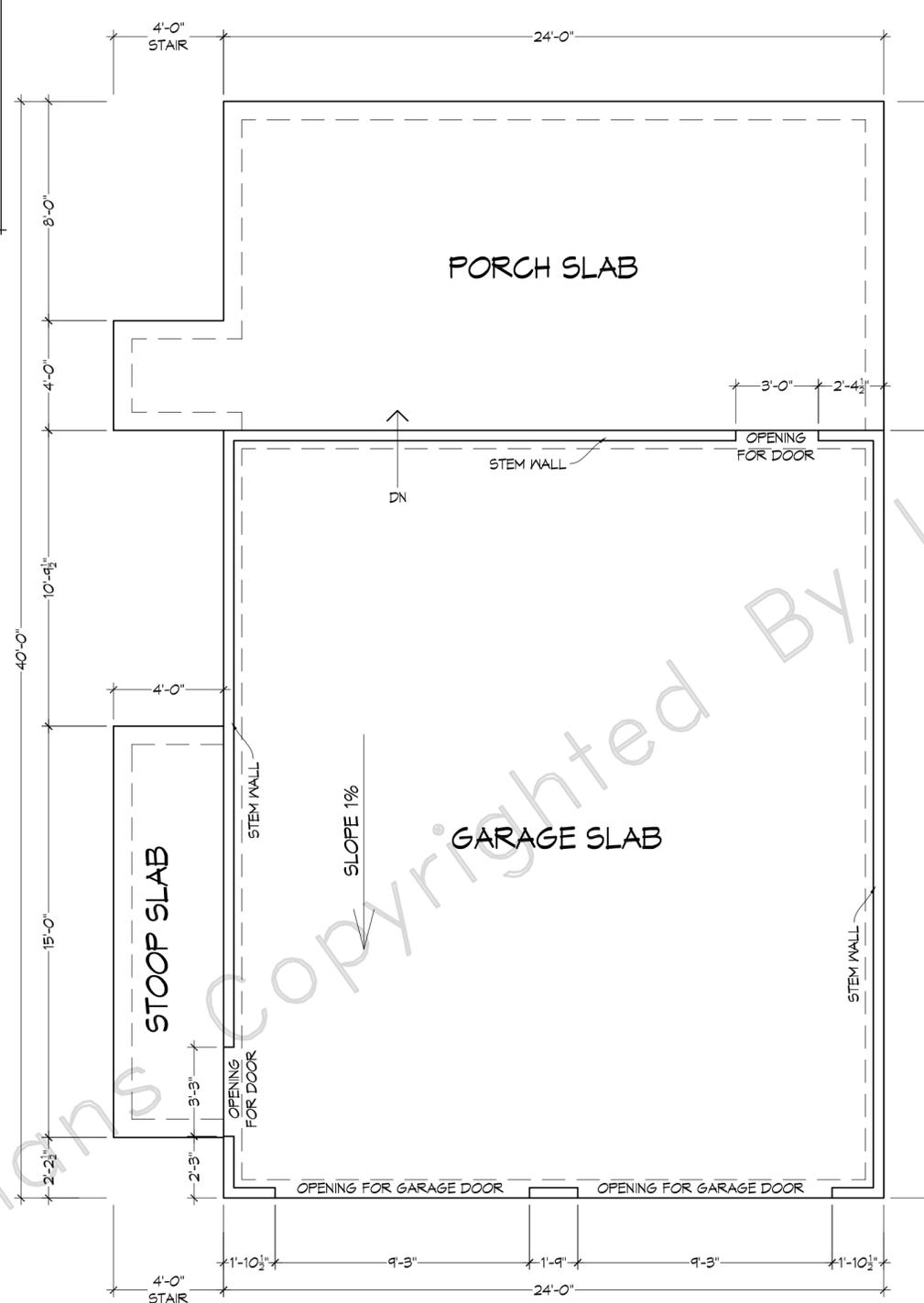
PINE SIZING TABLE

FLOOR JOIST	LIVE LOAD	DEAD LOAD	DEFL.	USE
30 psf	10 psf	360	1/8"	SLEEPING ROOMS, ATTIC FLOORS
40 psf	10 psf	360	1/8"	ALL ROOMS EXCEPT SLEEPING ROOMS
10 psf	5 psf	240	1/8"	DRYWALL CEILING, LIMITED ATTIC
20 psf	10 psf	240	1/8"	DRYWALL CEILING, LIMITED ATTIC
20 psf	10 psf	180	1/8"	MEDIUM ROOFING, DRYWALL CEILING
20 psf	10 psf	180	1/8"	MEDIUM ROOFING, NO FINISHED CEILING

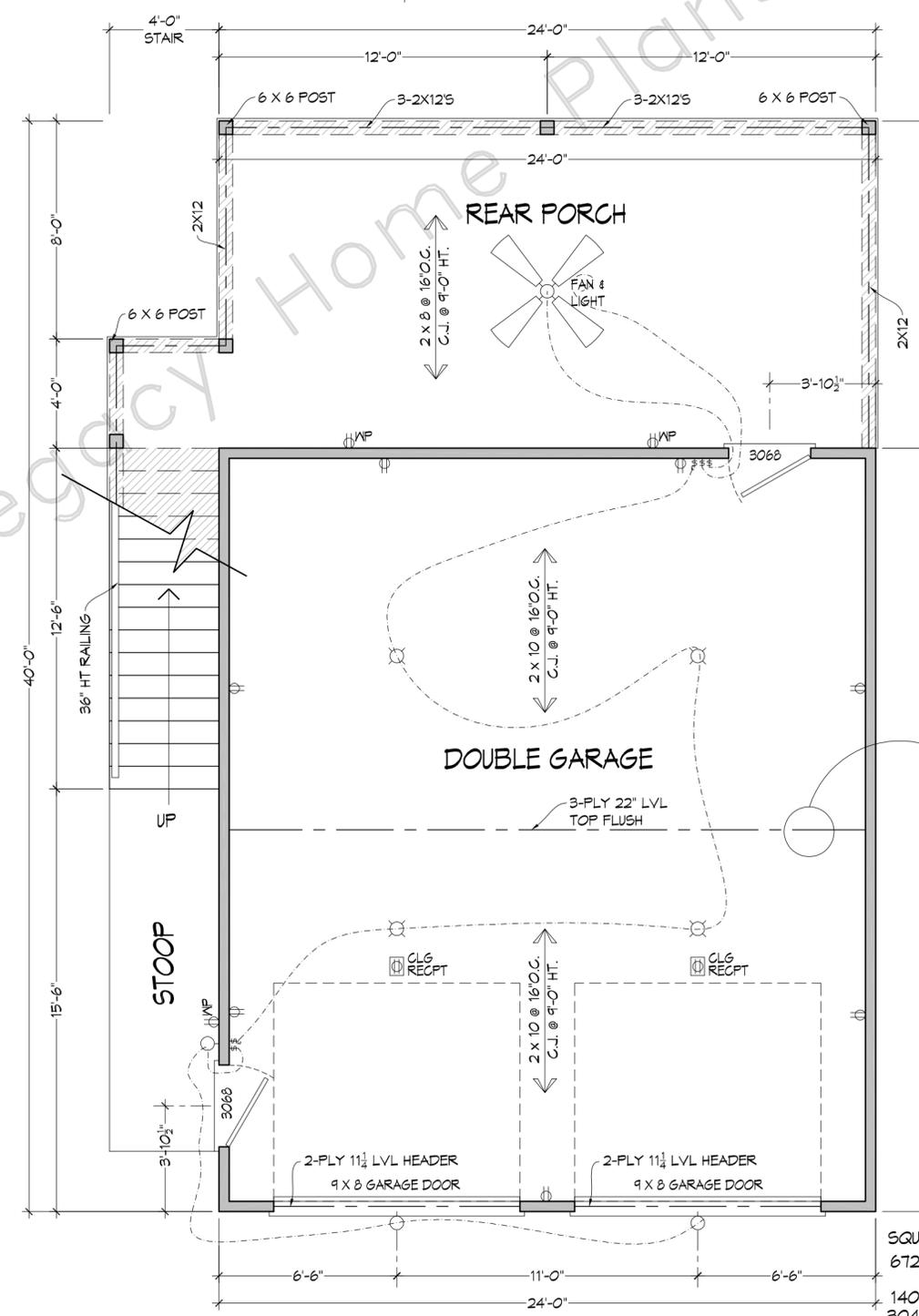
10PSF GROUND SNOW LOAD USED TO CALCULATE ROOF STRUCTURE FOR THIS PLAN

GENERAL NOTES

- IT IS NOT THE INTENT OF THESE DOCUMENTS TO FULLY DETAIL ALL CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK WITHIN STANDARD CONSTRUCTION PRACTICES THAT ENSURES PROPER STRUCTURAL DETAILING AND SIZING, WEATHERPROOF DETAILING, AND QUALITY WORKMANSHIP. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENGAGE THE SERVICES OF QUALIFIED STRUCTURAL ENGINEERS TO REVIEW ALL NON-TYPICAL FOUNDATION OR FRAMING CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL WORK AND CONSTRUCTION SHALL MEET OR EXCEEDS ALL APPLICABLE CODES.
- THIS PLAN HAS BEEN DESIGNED AS PER THE STANDARD BUILDING CODE. IT MUST BE CONSTRUCTED TO MEET THE MINIMUM SEISMIC REQUIREMENTS AS PER THE CODES DEPARTMENT WITH JURISDICTION. ALL JOIST AND RAFTERS HAVE BEEN SIZED BASED ON THE SOUTHERN PINE SPAN TABLES PROVIDED BY THE SOUTHERN PINE COUNCIL USING THE 2013 S.P.I.B. STANDARD GRADING RULES FOR NO.2 VISUALLY GRADED. - SEE SIZING TABLE.
- DIMENSIONS ARE FROM FACE OF SHEETROCK TO FACE OF SHEETROCK (4.5" OR 6.5"). BRICK VENEER SHOWN 5 INCHES FROM SHEATHING. WINDOW HEADER HEIGHT: 6 FEET-8 INCHES UNLESS OTHERWISE NOTED. ALL ANGLE WALLS ARE 45 DEGREES U.O.N. OR DIMENSIONED. ALL STUDS TO BE AT 16 INCHES ON CENTER U.O.N.
- PROVIDE DOUBLE JOIST UNDER ALL PARALLEL WALLS. PROVIDE SOLID BRIDGING ON ALL FLOOR JOIST SPANS OVER 10 FEET AND AT INTERVALS NOT TO EXCEED 8 FEET. PROVIDE 2X4 STRONGBACKS AT 5 FEET ON CENTER WHEN JOIST OR PLYWOOD DECKING DOES NOT SPAN AND TIE RAFTER BEARING PLATES HALF INCH PLYWOOD SUBFLOOR MAY BE SUBSTITUTED. PROVIDE FULL SOLID STUD BEARING UNDER ALL HEADERS AND BEAMS TO SOLID FOUNDATION BELOW.
- ALL MANUFACTURED PRODUCTS, SYSTEMS OR APPLICATIONS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED ALL APPLICABLE CODES.
- H.V.A.C. SUBCONTRACTOR SHALL COORDINATE COMPLETE SYSTEM REQUIREMENTS WITH SUPPLIER AND PROVIDE EQUIPMENT LAYOUT THAT MEETS LOCAL CLIMATE CONDITIONS AND BUILDING CODES.
- THE ELECTRICAL EQUIPMENT SHOWN REPRESENTS CONCEPT ONLY AND THE SUBCONTRACTOR IS RESPONSIBLE FOR COORDINATING OWNERS INTENT WITH SAFETY REQUIREMENTS AND COMPLYING WITH ALL APPLICABLE CODES.
- ALL WOOD FRAMING IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. USE TREATED LUMBER AT ALL EXTERIOR PORCH DECK LOCATIONS.
- TO MINIMIZE EXCESSIVE MOISTURE AND MOLD CONDITIONS, PROVIDE AN APPROVED VAPOR BARRIER UNDER FOOTINGS, SLABS, AND FLOOR JOISTS AT GROUND LEVEL. USE AN EXTERIOR SHEATHING WITH A SUFFICIENT PERM RATING ON ALL OUTSIDE WALLS. PROPERLY DESIGN AND SIZE HVAC SYSTEM AND INCLUDE A 10% FRESH AIR INTAKE.
- ALL STANDARD, MINIMUM CODE CONNECTION AND FASTENING PRACTICES ARE TO BE ADHERED TO BY QUALIFIED FOUNDATION, FRAMING, DRYWALL, TRIM AND MASONRY CONTRACTORS.



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE

672	HEATED LOFT
140	ROOFTOP BALCONY
304	REAR DECK
672	GARAGE
1116	TOTAL UNHEATED
1788	TOTAL SQUARE FT

FOR: **KENNESAW GARAGE**

DATE: 10-17-18

SCALE: As Shown

DRAWN BY: MIGUEL P. / STEVE V.

SHEET # **1**

PLAN NO. **0672-1116-G**

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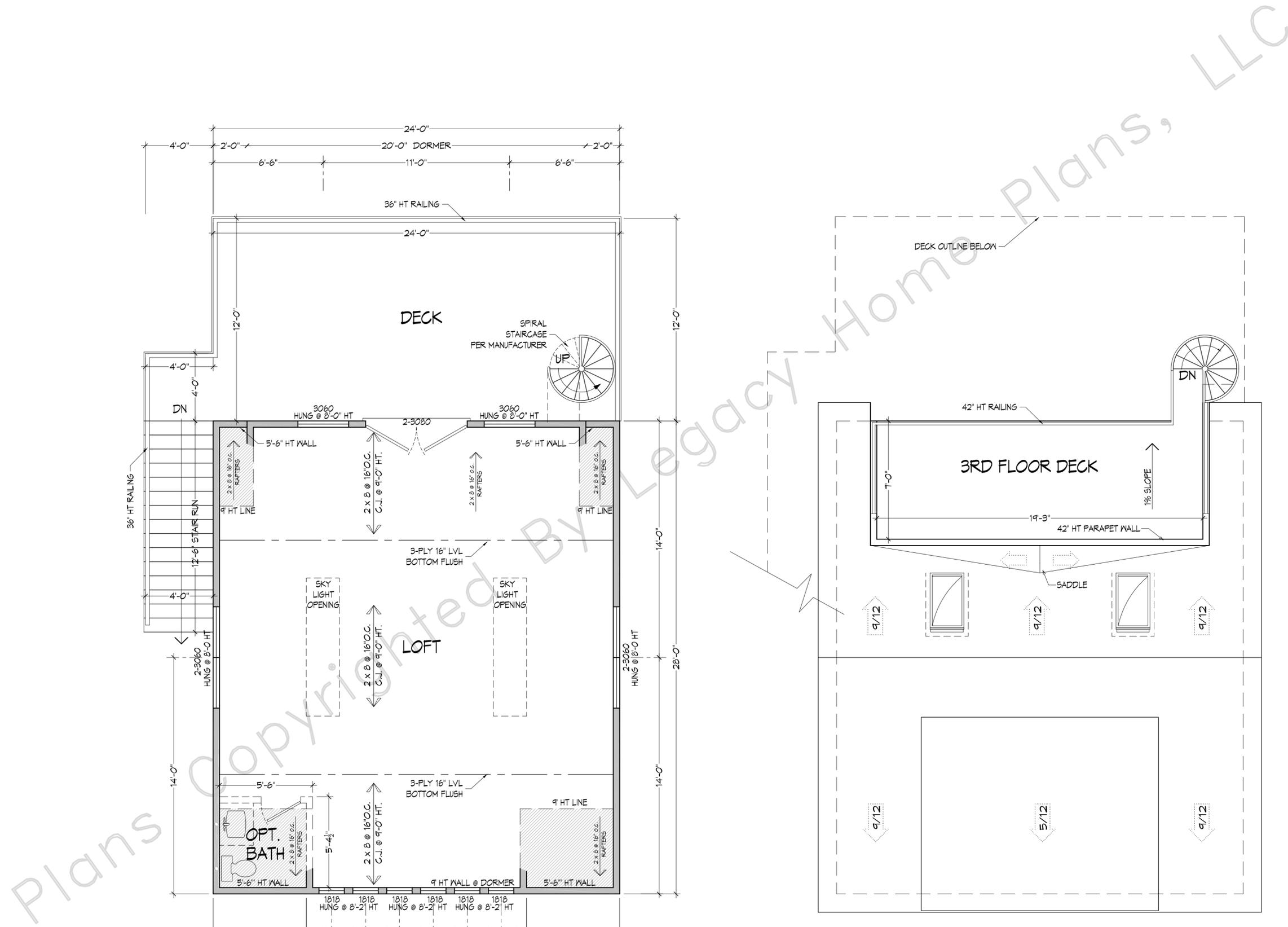
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SECOND LEVEL PLAN
SCALE: 1/4" = 1'-0"

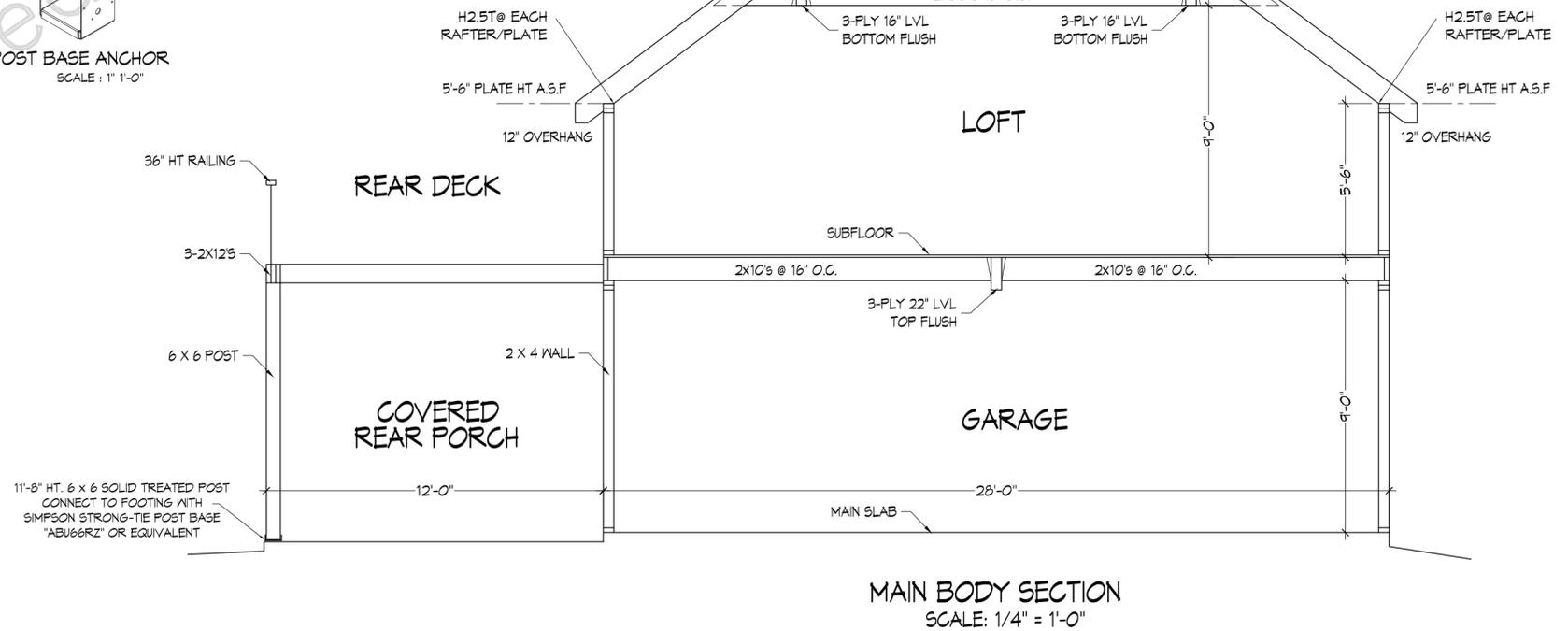
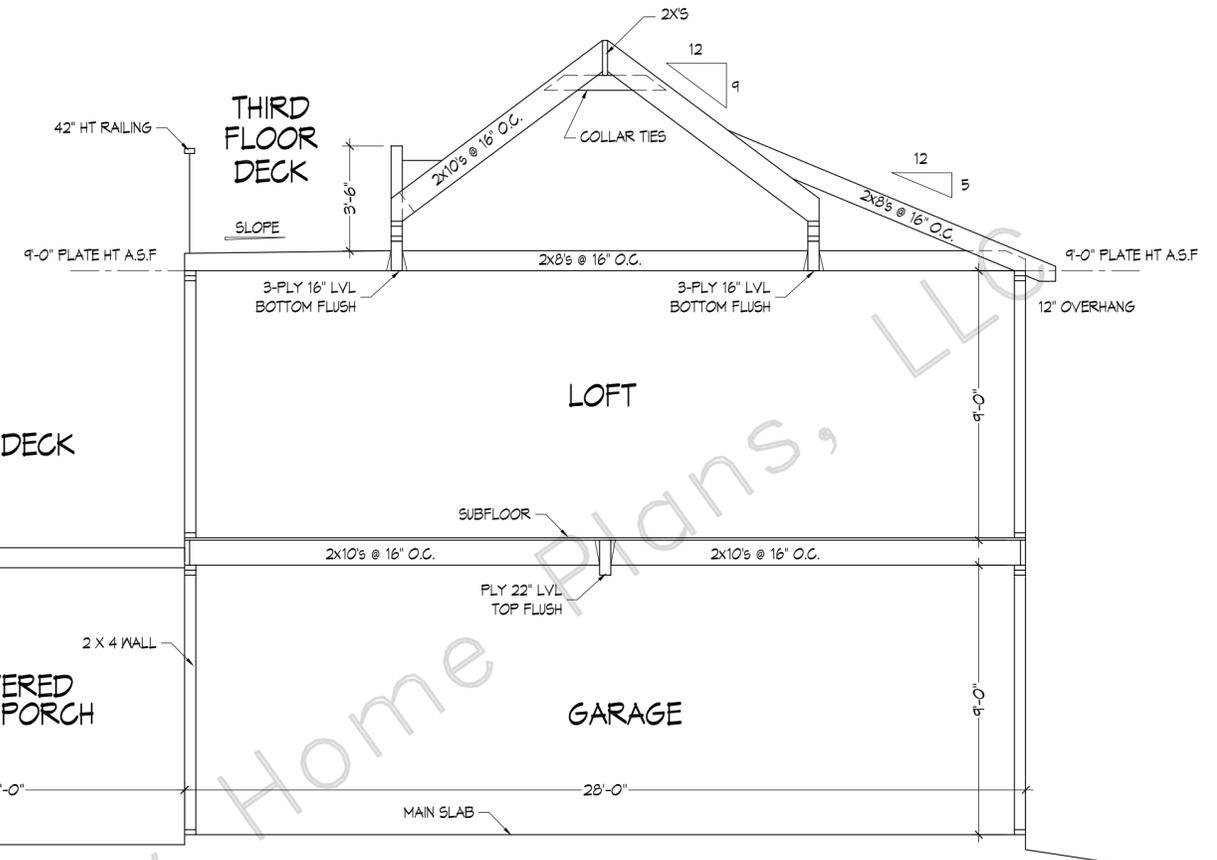
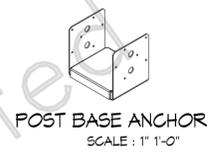
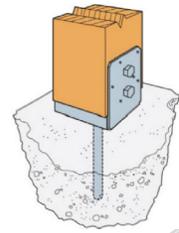
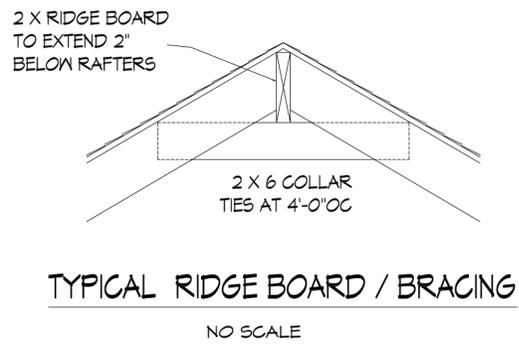
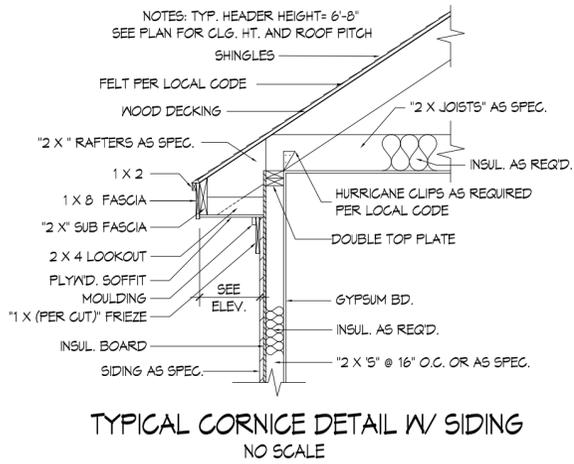
THIRD LEVEL PLAN
SCALE: 1/4" = 1'-0"

FOR	SCALE	DATE	FILE
PLAN NAME	As Shown	10-17-18	
DRAWN BY	SHEET #		
MIGUEL P. / STEVE V.	2		
PLAN NO.	0672-1116-G		

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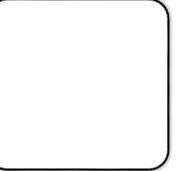


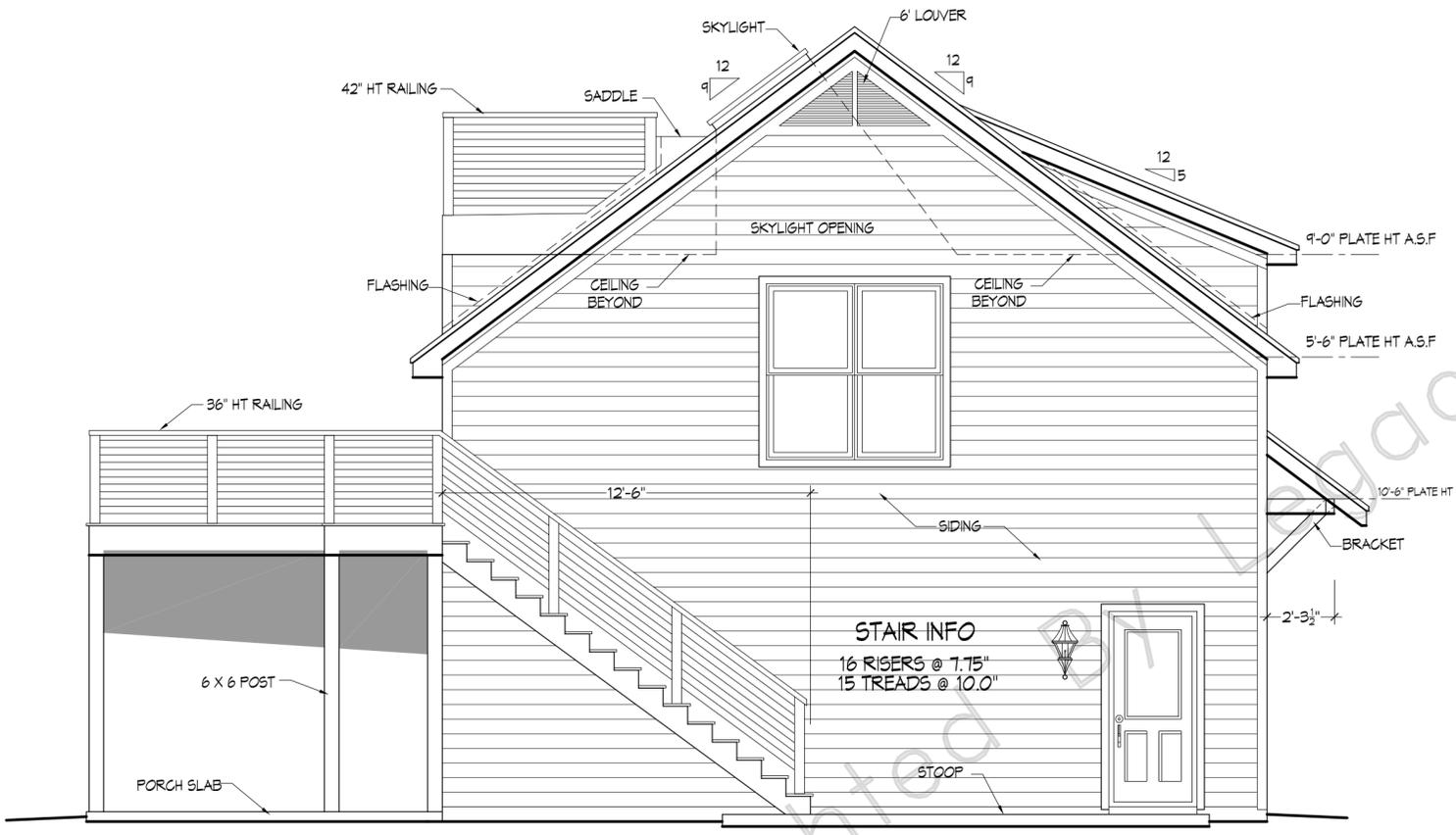
FILE	10-17-18	SHEET #	3
DATE	10-17-18	DRAWN BY	MIGUEL P. / STEVE V.
SCALE	As Shown	PLAN NAME	KENNESAW GARAGE
FOR		PLAN NO.	0672-1116-G

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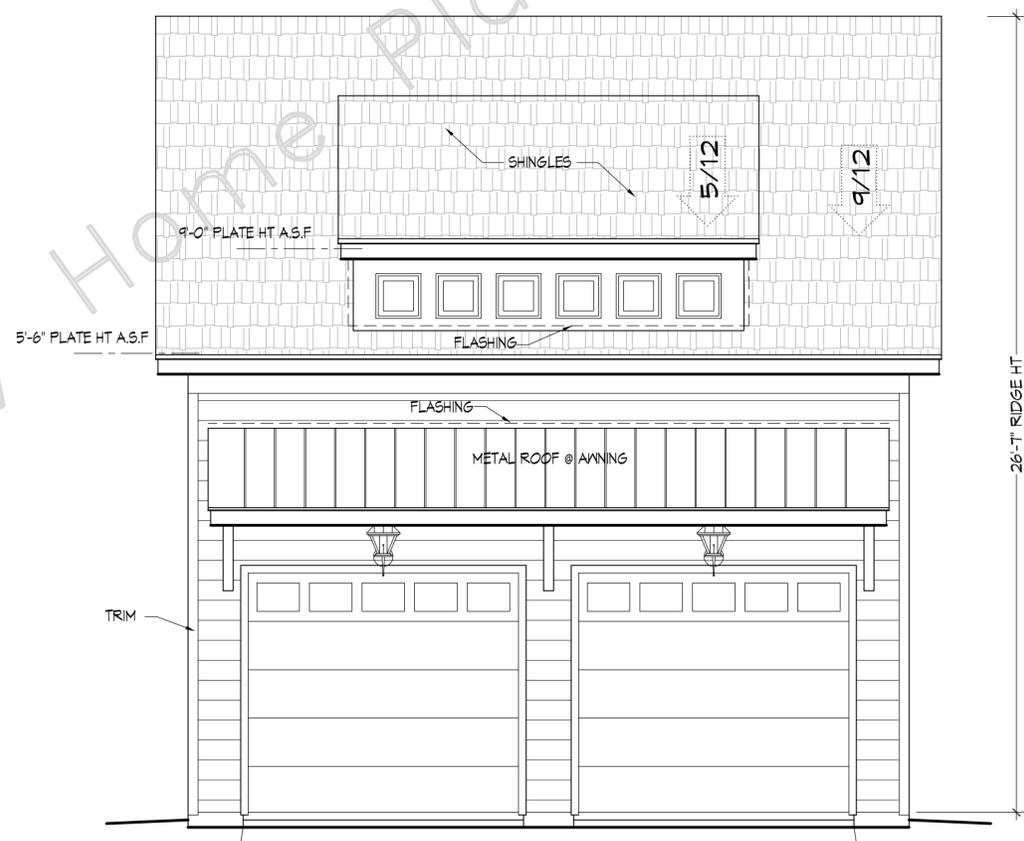
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LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

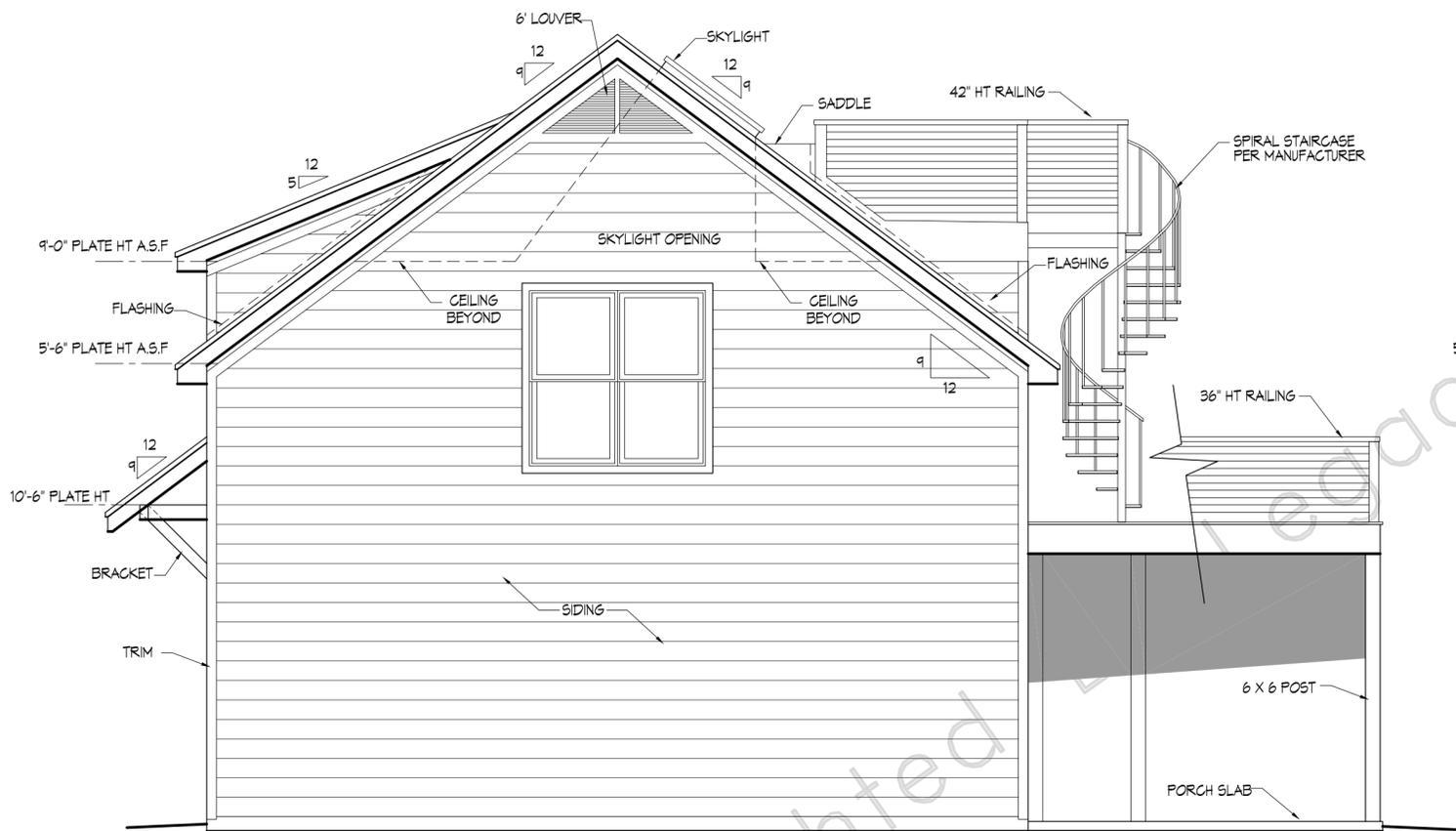
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SCALE	DATE	FILE
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RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

FILE	DATE	SCALE	SCALE	DATE	FILE
	10-17-18	As Shown	As Shown	10-17-18	
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